

AGENDA
NEWMAN PLANNING COMMISSION
REGULAR MEETING OF AUGUST 18, 2011
CITY COUNCIL CHAMBERS, 7:00 P.M., 1200 MAIN STREET

1. Call To Order.
2. Pledge Of Allegiance.
3. Roll Call.
4. Oath of Office - New Commissioner.
5. Approval Of The Agenda.
6. Approval Of Minutes From The April 21, 2011 Meeting.
7. Items From The Public.
8. New Business
 - a. Public Hearing
 - Site Plan Review No. 11-01
 - Applicant: AutoZone
 - Description: Conduct A Site Plan Review For The Development Of A 6,660 Square Foot Automotive Retail Store.
 - Location: 1641 "N" Street, At The Northwest Corner Of Inyo Avenue And "N" Street (Highway 33); More Specifically Described As Assessor's Parcel Number 128-009-013.
9. Items From Commissioners.
10. Items From Director And Staff.
11. Adjournment.

MINUTES
NEWMAN PLANNING COMMISSION
REGULAR MEETING OF APRIL 21, 2011
CITY COUNCIL CHAMBERS, 7:00 P.M., 1200 MAIN STREET

1. Call To Order - 7:00 P.M.
2. Pledge Of Allegiance.
3. Roll Call **PRESENT:** Sloan, Coleman, Allan and Applegate.
ABSENT: Maurer.
4. Approval Of The Agenda.

ACTION: On Motion By Allan Seconded By Sloan And Unanimously Carried, The Agenda Was Approved.

5. Approval Of Minutes From The March 17, 2011 Meeting.

ACTION: On Motion By Allan Seconded By Sloan And Unanimously Carried, The Minutes From The March 17, 2011 Meeting Were Approved.

6. Items From The Public - None.
7. New Business

- a. **Public Hearing**

Variance No. 11-01

Applicant: Melinda Origel-Maier

Description: Allow An Attached Patio Cover That Would Exceed Rear Setback Standards.

Location: 210 Northampton Court, Approximately 100 Feet North Of Parliament Court;
More Specifically Described As Assessor's Parcel Number 049-057-004.

Assistant Planner Ocasio Reviewed And Presented Variance No. 11-01.

Chairperson Applegate Opened The Public Hearing At 7:10 P.M.

Mike Maier, 210 Northampton Court, Stated That He Only Asking That The Setback Be Reduced To The Same Standard That The City Currently Has For Side Yards And Detached Structures And That His Irregularly Shaped Yard Helps Justify Approval. Maier Mentioned That He Knew That The Commission Is Always Concerned About Setting Precedents But That He Was Aware Of Other Variances That Have Been Granted By Previous Commissions For Similar Instances. He Noted That He Was Trying To Create A Place To Entertain Family And Friends And Have A Shaded Outdoor Area For His Son To Play.

Commission Sloan Inquired About A Similar Structure That Had Been Recently Approved.

Assistant Planner Ocasio Reported That The Structure That Commissioner Sloan Was Asking About Did Not Require A Variance But Only A Building Permit Even Though The Two Structures Were Similar In Size.

Chairperson Applegate Closed The Public Hearing At 7:17 P.M.

ACTION: On Motion By Coleman Seconded By Sloan And Carried By The Following Roll Call Vote, The Planning Commission Approved Variance No. 11-01.

8. Items From Commissioners.

Commissioner Allan Asked About Plaza Grand Opening.

9. Items From Director And Staff.

Assistant Planner Ocasio Updated Commissioners On Pending And Upcoming Grants.

10. Adjournment.

ACTION: On Motion By Allan Seconded By Coleman And Unanimously Carried, The Meeting Was Adjourned At 7:20 P.M.

**CITY OF NEWMAN
COMMUNITY DEVELOPMENT DEPARTMENT
STAFF REPORT**

PLANNING COMMISSION MEETING DATE: August 18, 2011

AGENDA ITEM: 8.a.

SPR	#11-01	Conduct a Site Plan Review for the development of a 6000+ square foot automotive retail parts store (AutoZone)
APN:	128-009-013	Applicant: AutoZone
CEQA:	Exempt Under Article 19, Class 32 (In-Fill)	

REQUEST:

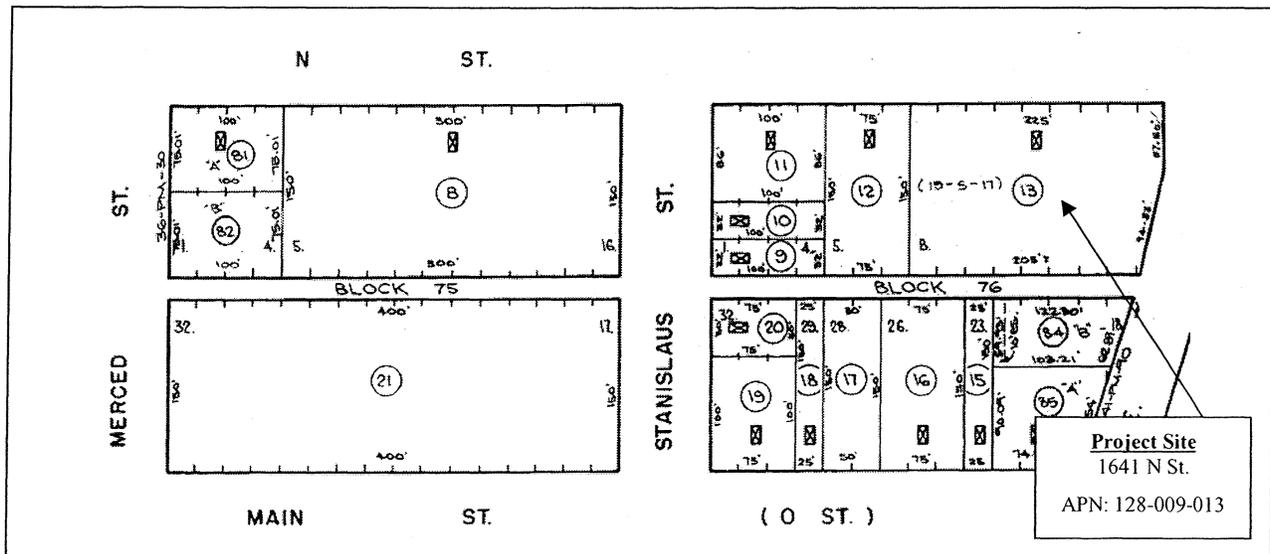
Conduct a Site Plan Review for the development of a 6,660 square foot automotive retail store.

LOCATION:

The property is located on the northwest corner of Inyo Avenue and "N" Street (Highway 33) at 1641 "N" Street.

ENVIRONMENTAL ASSESSMENT:

Pursuant to the California Environmental Quality Act (CEQA) and the City of Newman Environmental Quality Guidelines, it has been determined that this project is categorically exempt under Article 19, Class 32.



LAND USE:

<u>Property</u>	<u>Land Use</u>	<u>Zone</u>	<u>General Plan</u>
Subject site	Vacant	C-2	DC
North	Vacant	C-2	DC
South	Industrial	C-2	CC
East	Residential/Industrial	C-2	DC
West	Industrial	C-1	DC

C-1 = Retail Commercial

C-2 = General Service Commercial

CC = Community Commercial

DC = Downtown Commercial

SIZE OF PROPERTY: 0.72 Acres (Project Site)

ACCESS: "N" Street
Inyo Avenue

ORDINANCES:

NMC 5.25.040: Architectural and Site Plan Review

PROJECT DESCRIPTION:

The submitted site plan and accompanying statement propose the construction of a commercial automotive parts retail store located on the northwest corner of Inyo Avenue and "N" Street (Highway 33). The proposed development will have a footprint measuring 6,660 square feet and a building measuring 27 feet in height.

The site plan provides one trash enclosure and 29 parking spaces where the Newman Municipal code calls for a minimum of 23 parking spaces. Proposed access to the development will be through both Highway 33 and Inyo Avenue.

BACKGROUND:

In December 2010, staff met with the applicant to discuss potential development at 1641 "N" Street. Issues such as traffic, access and design were discussed.

On March 3, 2011, the applicant submitted their Site Plan Review application. The project was then subsequently routed out to various departments and agencies for a 30 day comment period. Comments were received from the California Department of Transportation and internal City departments. The compilation of comments is available for review as Exhibit "D".

Architectural Review Committee meetings were held on March 17th and April 14th to review the project. On April 14, 2011, the Architectural Review Committee conditionally approved the proposed architectural features for the new construction at 1641 "N" Street.

PROJECT ANALYSIS:

Land Use: The subject site and immediate northern, southern and eastern properties are zoned "C-2" (General Service Commercial) while the parcel to the west is zoned "C-1", (Retail Commercial). The "C-2" zone identifies auto parts and accessories, sales and service as an approved use. Given the proposed project's retail and service use, staff finds it consistent with the Newman 2030 General Plan and zoning district.

Development Standards: The Newman 2030 General Plan identifies a number of land use development policies; the following apply to this project:

Policy LU-1.1 The City shall encourage development of a scale and type that is compatible with the existing scale and character of Newman.

The proposed project layout and design is compatible with the scale and character of the immediate area and Newman as a whole.

Policy LU-2.8 The City shall promote the development of employment uses that improve the City's current jobs-housing imbalance.

Upon its completion, the project is estimated to create between 8 to 12 part and full time employees.

Policy LU-2.10 New development in Newman shall emphasize pedestrian accessibility and facilitate the use of non-automobile forms of transportation.

The project site is located in a pedestrian accessible area; one block east of the downtown core. In addition, staff is recommending that new sidewalks be installed as a part of the project.

Policy LU-2.11 The City shall promote development that maintains and reinforces the downtown as the geographic and economic center of Newman.

Given that the downtown core and Highway 33 corridor are closely located and that the project site is within the Downtown Streetscape Zone (as identified in the Highway 33 Specific Plan), it follows the intention of this policy as well as in-fills a currently vacant unused site.

Policy LU-3.7 Development and redevelopment of downtown properties shall be consistent with the vision, goals and urban design guidelines of the City of Newman, Downtown Revitalization Plan and the Highway 33 Specific Plan.

With approval, the project will be consistent with the Highway 33 Specific Plan.

Policy LU-3.9 The City shall promote infill development and the conversion of industrial buildings and properties to retail commercial and/or office uses in the downtown.

The proposed project is considered an in-fill project and is consistent with this policy.

Policy LU-5.1 The City shall promote expansion of the range of retail goods and services offered in Newman to capture a larger share of expenditures by Newman's residents and minimize the need for residents to shop outside the city.

The proposed project will provide additional automotive retail services for City residents; such as: part testing, battery charging, oil/battery recycling, loan-a-tool program as well as retail sales.

Policy LU-5.2 The City shall promote the establishment, maintenance and expansion of businesses in Newman that generate high retail sales as important contributors to the local economy.

The proposed project will increase the City's sales tax revenue through its retail activities.

Policy LU-5.5 New commercial and office development along California State Highway 33 outside of downtown shall be designed to complement the character, scale and mass of the historic downtown and to avoid the appearance of strip development.

Through the implementation of the Highway 33 Specific Plan and Architectural Review process, the proposed development will complement, be consistent with and improve the project area.

The Newman Highway Specific Plan requires that development along the Highway Corridor complements the Downtown core and is consistent with Newman's small town character. Implementation policy A.1 states that the City shall "Preserve Newman's small town qualities and Downtown's character by enforcing uniformed design guidelines along the Highway Corridor"; staff has done this through the Architectural Review and Site Plan Review Process.

Additional Specific Plan Principles include:

1. Establish a unifying theme and vision for the Highway Corridor.

This project serves as an initial step towards the Highway Corridor vision and improves the area near the City's southern entrance.

2. Strengthen and enhance Downtown as the Central Business District.

The project site is designated as Downtown Commercial in the General Plan and is keeping with the plans' goals of encouraging economic development towards the downtown core.

3. Improve streetscape, safety, circulation and parking on Highway 33.

The necessary project improvements identified by staff are consistent with and meet this principle.

Building Location: The site will contain one single-story building measuring 27 feet in height; under the maximum 35 feet as stipulated in the zoning code. The proposed building will be approximately 62 feet west from the N Street right-of-way and 72 feet north of Inyo Avenue. Given the site and surrounding area's commercial zoning designation, there are no setback requirements for this project. The General Plan and municipal code allow a maximum FAR of 2.0 and 0.40 respectively; the proposed project building is 6,660 square feet; within General Plan and Municipal Code requirements.

Landscaping/Open Space: NMC §5.06.050.G. requires that a minimum 5% of the total lot area be landscaped. The submitted landscaping plan identifies approximately 4,150 square feet (or about 12%) of landscaping; meeting code requirements.

Section 3.C. of the City of Newman Street Tree Plan requires that certain "...streets and street segments are to be planted in a uniform species planting to create a uniform appearance for the roadway". Per the plan, the segments of Inyo Avenue and "N" Street where the project is located are required to have Chinese Pistache street trees. The submitted landscape plan identifies Chinese Pistache trees along "N" Street but none are identified along Inyo Avenue.

Parking: NMC §5.17.030.B requires "1 space per 300 square feet of GFA", with this formula; the proposed project will require 23 spaces. The submitted site plan identifies 29 spaces, meeting municipal code requirements.

The Highway 33 Specific Plan requires that "all parking areas are located away from the Highway and are thoroughly landscaped". Per the plan:

7.1 A minimum of one large canopy shade tree shall be provided for each five parking lot spaces.

Given the proposed 29 parking spaces, 6 shade trees are required and are identified in the submitted landscaping plan.

7.3 A minimum 20 foot landscape setback must be provided between parking lots and Highway 33.

The proposed site plan does not identify a 20 foot landscape setback between the parking lot and Highway 33. However, upon review of the project and surrounding area, staff has determined that the proposed landscaping is consistent with recent development in the area.

7.2 Parking lot trees shall be evenly distributed throughout the parking area to create a broad canopy of shade.

The landscaping plan identifies the location of each shade tree. Although staff would prefer a centrally-located tree, it would visually impede with the building's main entrance. Therefore, staff is satisfied with the proposed tree layout.

7.4 Parking areas must be adequately illuminated for safety. All parking lot lighting must be consistent with the project's architecture.

All lighting will be addressed during the building permit stage. Said lighting shall be consistent with General Plan Policies, the Municipal Code and all other applicable plans.

7.6 Adequate bicycle parking should be provided throughout the Corridor.

Two bicycle parking racks were identified on the plans; meeting municipal code and specific plan requirements.

7.5 Pedestrian walkways and crosswalks should be provided between buildings, adjoining uses, and all parking lots.

Adequate walkways have been identified on the submitted site plan.

Access: The applicant is proposing access from both “N” Street (Highway 33) and Inyo Avenue.

Improvements: The northern portion of Inyo Avenue and western portion of “N” Street (Highway 33) requires improvements. Said improvements shall include but aren’t limited to: curb, gutter, sidewalk, accessible ramps, landscaping, turn lane and street light. All improvements shall be to City of Newman, General Plan, Highway Specific Plan and Caltrans standards.

Architectural Review Committee: During its two meetings, the Architectural Review Committee reviewed and approved the project elevations/design with the following conditions:

1. Attached Signage shall be individual pan channel letters without the white trim.
2. Landscaping shall be placed/planted at all trellises.
3. Overhead roll-up door at southern elevation shall be painted/colored to match building color (i.e. SW 6088 – Nuthatch)

Refer to Exhibit “B” for elevations.

Environmental Review: All potentially significant effects have been analyzed adequately in the Newman 2030 General Plan EIR. Pursuant to applicable standards, the California Environmental Quality Act (CEQA) and the City of Newman Environmental Quality Guidelines, it has been determined that this project is categorically exempt under Article 19, Class 32 (In-Fill Development).

FINDINGS:

1. Does the architectural and general appearance of the structures and grounds have architectural unity and are in keeping with the character of the neighborhood as not to be detrimental to the orderly and harmonious development of the City, or to the desirability of investment or occupation in the neighborhood?

Pro: The architectural and general appearance of the proposed structure and grounds are in keeping with the neighborhood and are not detrimental to the community. Consistent with the downtown corridor and downtown core, the proposed project will have a Simon Newman Building inspired façade with the utilization of cornices, bricks, awnings and trellises as recommended in the Highway 33 Specific Plan. The project has utilized appropriate architecture and color palette and has received approval from the Architectural Review Committee.

Con: None

2. Is the site plan consistent with all adopted City plans, documents, ordinances, included but not limited to the Newman Municipal Code, any applicable specific and/or master plans, any adopted development standards and design guidelines, and the general plan?

Pro: The site plan is consistent with most adopted City plans and documents and zoning district.

Con: The submitted site plan was not entirely consistent with the Highway 33 Specific Plan.

Public Comment

A Public Notice was published on August 4 and 9, 2011, posted at the project site and mailed out to surrounding property owners within a 300' radius on August 5, 2011. As of this date (8-10-11), no comments have been received.

CONCLUSION:

The proposed project is to develop a 6,660 square foot automotive retail parts store on the corner of Inyo Avenue and "N" Street (Highway 33). The proposed development is compatible and consistent with the adjacent neighborhood, the General Plan, Municipal Code and the intent of the Highway 33 Specific Plan. The project should not have a negative impact upon the immediate neighborhood and is expected encourage economic activity for the applicant and the City.

Staff recommends that the Commission approve the proposed Site Plan per the conditions listed below. Staff has provided the Commission findings supporting both approval and denial of the project.

CONDITIONS OF APPROVAL:

Building

1. Project plans shall comply with the 2010 California Green Building Standards Code (CCR, Title 24, Part 11)
2. Building permit plans shall be approved by the Chief Building Official.

Circulation/Streets

3. The developer shall pay all applicable impact fees for project. Traffic impact fees will constitute the fair-share of Highway 33 and Inyo Avenue Intersection improvements.
4. Developer shall install a right-turn-only lane on project frontage (southbound Highway 33) and reconstruct the curb, gutter and sidewalk along entire project frontage as per City of Newman and CalTrans standards.
 - a. The northwest curb return at Highway 33 and Inyo Avenue will need to be reconstructed including curb ramps and catch basin.
5. In lieu of Condition № 4, the developer may enter into a funding agreement with the City of Newman for Highway 33 right-of-way improvements.
6. There shall be no parking on Highway 33.
7. The alley on the west side of the development shall be improved to City standards the entire length of the project site.

8. Garbage and delivery truck entrance, exit and circulation plan shall be submitted to the City for review and approval. Delivery or service vehicle shall not “back-in” to the project site via City streets or Highway 33.

Community Development

9. It is the developer’s responsibility that the proposed development complies with handicap and Americans with Disabilities Act (ADA) requirements in the design and maintenance of this project.
10. The developer shall develop the site in accordance with the site plan and all changes required by the Architectural Review Committee:
 - a. Attached Signage shall be individual pan channel letters without the white trim.
 - b. Landscaping shall be placed/planted at all trellises.
 - c. Overhead roll-up door at southern elevation shall be painted/colored to match building color (i.e. SW 6088 – Nuthatch)
11. The developer shall develop the site in accordance with the site plan and all changes required by the Planning Commission.
12. The developer shall comply with the adopted street tree ordinance.
13. All signage is to comply with the current Sign Ordinance of the City of Newman, and as amended. Final locations of all signage, as well as the dimension and construction specifications, are subject to review and approval by the Community Development Department, under separate permit.
14. The developer shall submit garbage enclosure plans for City approval; said plans shall incorporate architectural features consistent with the main building

Engineering

15. Project grading and drainage plans shall be submitted for review and approval by the City Engineer.
16. Public improvement plans shall be submitted for review and approval by the City Engineer. Said plans shall comply with City and CalTrans standards.
17. Project utility construction plans shall be submitted for review and approval by the City Engineer.
18. Prior to a final building inspection, the developer shall provide the City with as-built drawings of the buildings and all facilities as follows:
 - a. 3 mil mylar
 - b. A disk of the as-builts in “DWG” and pdf formats.
 - c. Erosion control plan sheet(s) shall be included with the grading plan for the project. The erosion control plan shall incorporate applicable CalTrans Construction Site Best Management Practices.

Fire

19. Address number shall be internally or externally illuminated and contrast to the building to which they are attached. The number shall not be obscured by vegetation, parked vehicles, etc.
20. The developer shall install “Blue Dot” fire hydrant locators.
21. An interior fire suppression system (i.e. sprinklers) is required, the developer shall provide the following for the approval of the Fire Department/Stanislaus County Fire Marshall:
 - a. A building fire suppression system

22. A Knox Box for access is required for this building. Contact the West Stanislaus County Fire Protection District at (209) 892-5621 for an order form and instructions regarding installation and placement.
23. The developer shall submit fire flow demand calculations and flow test for the hydrant nearest the project.
24. Approved fire apparatus access roadways and fire fighting water supplies shall be installed and operational prior to any combustible construction or storage of combustible materials on the site.

Utilities

25. The developer shall install energy efficient street lighting as per City standards. A 200 watt electrolier is required at the intersection of Highway 33 and Inyo Avenue, and a 200 watt electrolier on Highway 33 at the northern end of the development, approximately 200 feet north of Inyo Avenue. The developer is responsible for 50% of the cost of the electrolier located at the northern end of the development on Highway 33.
26. Backflow preventive device is required for the fire flow and domestic water system.
27. Identify electrical service panel/meter location and connection for building and project in its entirety.
28. Submit calculations for peak water demand, peak storm drainage and discharge ADF for wastewater for the proposed development.
29. Prior to approval of sewer and storm drain connections, the project engineer shall provide calculations demonstrating downstream facilities and showing their ability to handle the increase in anticipated flows.
30. Proposed connection points for project water and sewer service shall be submitted to the City for review and approval.
31. Developer shall submit plans identifying project's storm drain runoff/connections/storage. Said plans shall comply with City standards.
32. All overhead utilities (excluding high voltage transmission lines) adjacent to or within the project site shall be undergrounded.
33. Any existing light pole bases not to be used shall be removed. However, street lights along Inyo Avenue or Highway 33 shall be installed in keeping with City and Caltrans standards.

General

34. Project trash enclosure orientation will be finalized during the building permit process.
35. An erosion control sheet(s) shall be included with the grading plan for the project. The erosion control plan shall incorporate applicable Caltrans Construction Site Best Management Practices.
36. The development shall install conduits underneath the driveway approach on Inyo Avenue for future undergrounding of the overhead utilities. Number, material, size of conduits and placement shall be approved by the appropriate utility companies.
37. The project shall comply with the FEMA and City of Newman Floodplain requirements and shall submit a Floodplain Certification prior to occupancy.
38. The developer shall submit landscaping plans to the City for review and approval.

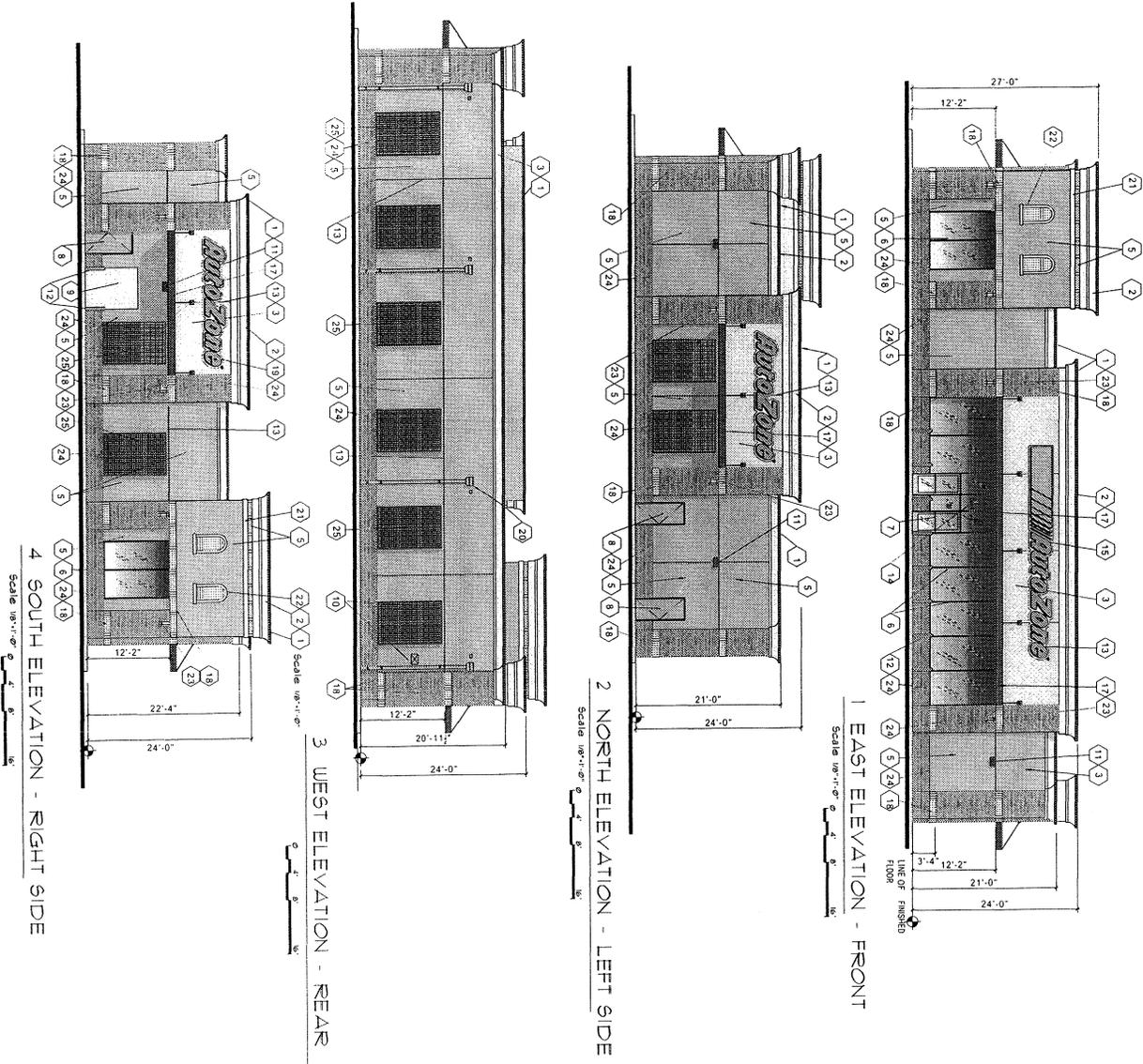
39. Prior to construction, the project shall have approved improvement plans signed and stamped by a State of California licensed civil engineer complying with State of California Department of Transportation (for the Highway 33 improvements) and the City of Newman Improvement Standards.
40. Clarify existing improvements and data on plans for City review and comment.
41. Submit existing topographical data for City review and comment.
42. A reciprocal use agreement will need to be in place for the driveway off the Highway at the north end of the property since it is being constructed over the property line.

Standard Conditions

43. This application shall become null and void if the project is not initiated within one year from the date of approval.
44. All plans shall be consistent with the site plan, reflecting amendments as approved.
45. Any proposed modifications of a significant and/or permanent nature to the approved site plan or elevations, involving building exteriors or square footage, fence/walls, or major landscaping modifications, may require approval of a new site plan review application.
46. All night lighting shall be hooded and/or fitted with prismatic directional lenses to prevent illumination onto adjoining properties and glare into on-coming traffic.
47. It shall be the responsibility of the developer to convey copies of the conditions of approval to all contractors and sub-contractors.
48. During Construction, and for safety purposes, the developer and assigned contractors shall keep the public right-of-way clear of obstructions, and provide for clean-up on a daily basis.
49. For safety purposes, the construction area shall be fenced off with a chain link or another type of acceptable fencing as determined by the planning department.
50. All contractors performing work relative to this project shall obtain City of Newman Business Licenses, prior to start of work on the project. All work performed on the project shall comply with the requirements of the State and Professions Code.
51. The site shall be kept in a dust-free condition during construction in compliance with the San Joaquin Valley Air Pollution Control District (SJVAPCD).
52. All electrical, plumbing and mechanical equipment shall be screened. There shall be no new above-ground utility lines placed, or exposed conduits installed as a result of the project.
53. The developer and/or property owner shall comply with, and be responsible for obtaining encroachment permits from the City of Newman for work performed within the City's right-of-way.
54. The developer and/or property owner shall comply with, and be responsible for obtaining encroachment permits from Caltrans for work performed within the State's right-of-way.

ATTACHMENTS:

1. Exhibit A, Site Plan
2. Exhibit B, Elevations
3. Exhibit C, Floor Plan
4. Exhibit D, Comment Letters



KENNOTES

- 1 Prefinished Metal Clomp
- 2 Cedar Medium Bronze
- 3 Concrete Stucco Finish Color: SW 6071 Revere White
- 4 Stucco Finish Color: SW 6088 Signal Blue
- 5 Stucco Finish Color: SW 6081 Revere White
- 6 Stucco Finish Color: SW 6088 Signal Blue
- 7 Concrete Stucco Finish Color: SW 6088 Signal Blue
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REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		

AUTOZONE, INC.
 123 South Front Street
 Memphis, TN. 38103
 901-495-8714

For Bidding & Contractor Information Contact:
 F. W. Dodge Plan Room Tel. 615-884-1017

AutoZone Store No. 4074
NWC "N" STREET @ INVO
 NEWMAN, CA. 95360

BUILDING ELEVATIONS

15 WEST SEVENTH STREET
 COVINGTON, KENTUCKY 41011
 PH 859-261-5100 FAX 859-261-5530



02-22-11
 7N2LEFT
A2



May 9, 2011

Mr. Scott Sehm
CEI Engineering Associates, Inc.
7543 N. Ingram Ave., Ste. 107
Fresno, CA 93711

RE: AutoZone – Site Plan Review #11-01

Dear Scott:

The City has completed its initial review of the project. Please review and respond to the following comments:

GENERAL

1. Prior to construction, the project shall have approved improvement plans signed and stamped by a State of California licensed civil engineer complying with State of California Department of Transportation (for the Highway 33 improvements) and the City of Newman Improvement Standards.
2. Existing improvements and data on the plans need to be shown more clearly. (i.e., the fonts for existing elevations are very difficult to read.)
3. The existing topographical data is not legible, therefore cannot complete the review of the off-site improvements.
4. A reciprocal use agreement will need to be in place for the driveway off the Highway at the north end of the property since it is being constructed over the property line.
5. Traffic study will determine whether right-of-way needs to be dedicated at the northwest corner of Inyo and Highway 33.

CIRCULATION/STREETS

1. The site plan needs to show the full street widths for N Street/Highway 33 and Inyo Avenue along with existing improvements on both sides of the streets.
2. Demonstrate how garbage and delivery trucks will enter, exit and circulate through the site without backing out onto any street.

3. End stalls and stalls adjacent to raised curbing shall be a minimum of 1 foot wider than the normal stall width (10 feet wide).
4. Adjacent alley west of the project shall be improved in its entirety (from Inyo Avenue to Stanislaus Street). Additionally, the valley gutter in this alley will need to be extended throughout.
5. The General Plan indicates the intersection of Highway 33 and Inyo Avenue will be signalized in the future. The plan also indicates Inyo Avenue should consist of 2 travel lanes and two auxiliary lanes for both left and right turns. It may be necessary to limit parking along the project as well as dedicate additional right-of-way for these lanes.
6. The General Plan indicates Highway 33 adjacent to the project should consist of 4 travel lanes and an auxiliary lane for left turns. The General Plan also acknowledges, due to development along the highway, obtaining additional right-of-way may not be feasible. Provide a cross-section of Highway 33 showing the existing right-of-way and improvements and future right-of-way with the General Plan lane configuration (see attached cross-section for reference).
7. The existing cross slopes on the highway do not conform to the Highway Design Manual. Please address how you propose to correct the "non compliant design features" adjacent to your project.
8. The northwest curb return at Highway 33 and Inyo Avenue will need to be reconstructed including curb ramps and catch basin.
9. Caltrans required traffic study will determine the need for right-of-way dedication.

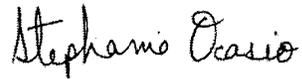
UTILITIES

1. Identify electrical service panel/meter location and connection for building and project in its entirety.
2. Need calculations of peak demands for water, sewer and storm drain.
3. Prior to approval of the sewer and storm drain connections the project engineer shall provide calculations of the peak demands and the downstream facilities showing their ability to handle the increase in demand.
4. The plans do not indicate the connection points for water and sewer service. We assume connection will be made to the 10-inch water and the 6-inch sanitary sewer lines in the alley west of the project site for water and sewer service. This would be appropriate.
5. What is proposed for storm drain runoff?
6. All overhead utilities (excluding high voltage electricity) adjacent to or within the project site shall be underground

7. Any existing light pole bases not to be used shall be removed. However, street lights along Inyo Avenue or Highway 33 shall be installed in keeping with City and Caltrans standards.

Should you have any questions or require additional information, please feel free to contact me at: (209) 862-3725 extension 17.

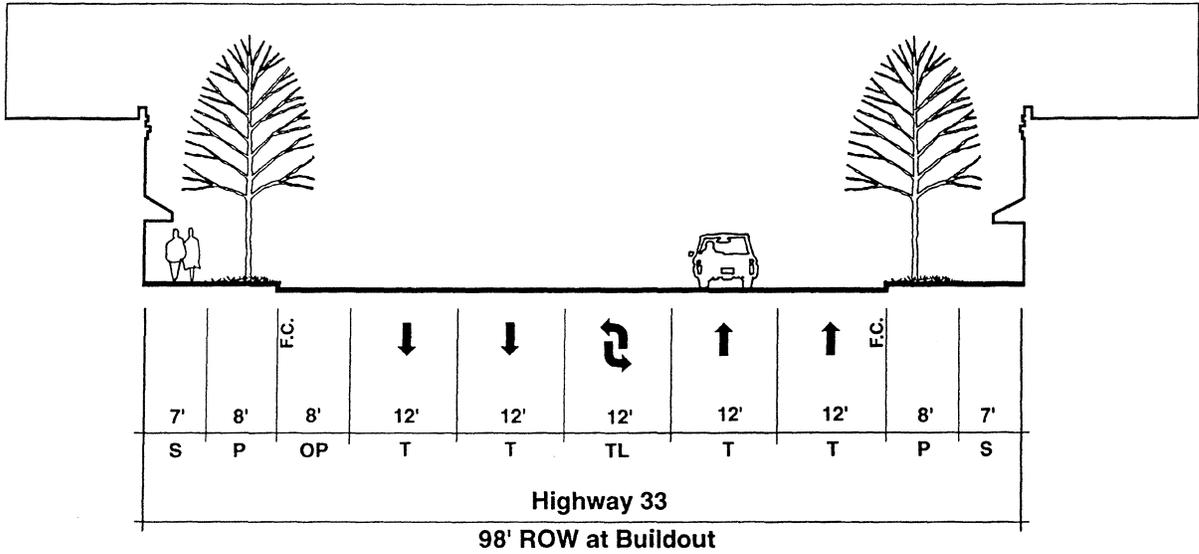
Sincerely,



STEPHANIE OCASIO
Assistant Planner
socasio@cityofnewman.com

Enclosure

cc: Mitch Bramlitt, AutoZone
George Souza, Property Owner



Typical Downtown Street Section

Key

- S Sidewalk
- OP On-Street Parking
- T Travel Lane
- TL Turn Lane
- P Landscaped Parkway

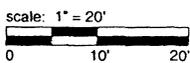


Figure 13
Highway 33
Section C



July 26, 2011

Mr. Mitch Bramlitt
AutoZone Development Corporation
123 South Front
Memphis, TN 38103

RE: AutoZone – Site Plan Review #11-01

Dear Mr. Bramlitt:

In an effort to encourage smooth processing of the project, staff is providing you with an advanced notice of the draft conditions of approval.

Building

1. Project plans shall comply with the 2010 California Green Building Standards Code (CCR, Title 24, Part 11)
2. Building permit plans shall be approved by the Chief Building Official.

Circulation/Streets

3. The developer shall pay all applicable impact fees for project. Traffic impact fees will constitute the fair-share of Highway 33 and Inyo Avenue Intersection improvements.
4. Developer shall install a right-turn-only lane on project frontage (southbound Highway 33) and reconstruct the curb, gutter and sidewalk along entire project frontage as per City of Newman and CalTrans standards.
 - a. The northwest curb return at Highway 33 and Inyo Avenue will need to be reconstructed including curb ramps and catch basin.
5. There shall be no parking on Highway 33.
6. The alley on the west side of the development shall be improved to City standards the entire length of the project site.
7. Garbage and delivery truck entrance, exit and circulation plan shall be submitted to the City for review and approval. Delivery or service vehicle shall not “back-in” to the project site via City streets or Highway 33.

Community Development

8. It is the developer’s responsibility that the proposed development complies with handicap and Americans with Disabilities Act (ADA) requirements in the design and maintenance of this project.
9. The developer shall develop the site in accordance with the site plan and all changes required by the Planning Commission.
10. The developer shall comply with the adopted street tree ordinance.

11. All signage is to comply with the current Sign Ordinance of the City of Newman, and as amended. Final locations of all signage, as well as the dimension and construction specifications, are subject to review and approval by the Community Development Department, under separate permit.
12. The developer shall submit garbage enclosure plans for City approval; said plans shall incorporate architectural features consistent with the main building

Engineering

13. Project grading and drainage plans shall be submitted for review and approval by the City Engineer.
14. Public improvement plans shall be submitted for review and approval by the City Engineer. Said plans shall comply with City and CalTrans standards.
15. Project utility construction plans shall be submitted for review and approval by the City Engineer.
16. Prior to a final building inspection, the developer shall provide the City with as-built drawings of the buildings and all facilities as follows:
 - a. 3 mil mylar
 - b. A disk of the as-builts in "DWG" and pdf formats.
 - c. Erosion control plan sheet(s) shall be included with the grading plan for the project. The erosion control plan shall incorporate applicable CalTrans Construction Site Best Management Practices.

Fire

17. Address number shall be internally or externally illuminated and contrast to the building to which they are attached. The number shall not be obscured by vegetation, parked vehicles, etc.
18. The developer shall install "Blue Dot" fire hydrant locators.
19. An interior fire suppression system (i.e. sprinklers) is required, the developer shall provide the following for the approval of the Fire Department/Stanislaus County Fire Marshall:
 - a. A building fire suppression system
20. A Knox Box for access is required for this building. Contact the West Stanislaus County Fire Protection District at (209) 892-5621 for an order form and instructions regarding installation and placement.
21. The developer shall submit fire flow demand calculations and flow test for the hydrant nearest the project.
22. Approved fire apparatus access roadways and fire fighting water supplies shall be installed and operational prior to any combustible construction or storage of combustible materials on the site.

Utilities

23. The developer shall install energy efficient street lighting as per City standards. A 200 watt electrolier is required at the intersection of Highway 33 and Inyo Avenue, and a 200 watt electrolier on Highway 33 at the northern end of the development, approximately 200 feet north of Inyo Avenue. The developer is responsible for 50% of the cost of the electrolier located at the northern end of the development on Highway 33.
24. Backflow preventive device is required for the fire flow and domestic water system.

25. Identify electrical service panel/meter location and connection for building and project in its entirety.
26. Submit calculations for peak water demand, peak storm drainage and discharge ADF for wastewater for the proposed development.
27. Prior to approval of sewer and storm drain connections, the project engineer shall provide calculations demonstrating downstream facilities and showing their ability to handle the increase in anticipated flows.
28. Proposed connection points for project water and sewer service shall be submitted to the City for review and approval.
29. Developer shall submit plans identifying project's storm drain runoff/connections/storage. Said plans shall comply with City standards.
30. All overhead utilities (excluding high voltage transmission lines) adjacent to or within the project site shall be undergrounded.
31. Any existing light pole bases not to be used shall be removed. However, street lights along Inyo Avenue or Highway 33 shall be installed in keeping with City and Caltrans standards.

General

32. Project trash enclosure shall be rotated westward and accessed by refuse collection via the adjacent alley.
33. An erosion control sheet(s) shall be included with the grading plan for the project. The erosion control plan shall incorporate applicable Caltrans Construction Site Best Management Practices.
34. The development shall install conduits underneath the driveway approach on Inyo Avenue for future undergrounding of the overhead utilities. Number, material, size of conduits and placement shall be approved by the appropriate utility companies.
35. The project shall comply with the FEMA and City of Newman Floodplain requirements and shall submit a Floodplain Certification prior to occupancy.
36. The developer shall submit landscaping plans to the City for review and approval.
37. Prior to construction, the project shall have approved improvement plans signed and stamped by a State of California licensed civil engineer complying with State of California Department of Transportation (for the Highway 33 improvements) and the City of Newman Improvement Standards.
38. Clarify existing improvements and data on plans for City review and comment.
39. Submit existing topographical data for City review and comment.
40. A reciprocal use agreement will need to be in place for the driveway off the Highway at the north end of the property since it is being constructed over the property line.

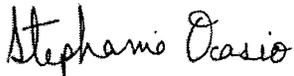
Standard Conditions

41. This application shall become null and void if the project is not initiated within one year from the date of approval.
42. All plans shall be consistent with the site plan, reflecting amendments as approved.
43. Any proposed modifications of a significant and/or permanent nature to the approved site plan or elevations, involving building exteriors or square footage, fence/walls, or major landscaping modifications, may require approval of a new site plan review application.

44. All night lighting shall be hooded and/or fitted with prismatic directional lenses to prevent illumination onto adjoining properties and glare into on-coming traffic.
45. It shall be the responsibility of the developer to convey copies of the conditions of approval to all contractors and sub-contractors.
46. During Construction, and for safety purposes, the developer and assigned contractors shall keep the public right-of-way clear of obstructions, and provide for clean-up on a daily basis.
47. For safety purposes, the construction area shall be fenced off with a chain link or another type of acceptable fencing as determined by the planning department.
48. All contractors performing work relative to this project shall obtain City of Newman Business Licenses, prior to start of work on the project. All work performed on the project shall comply with the requirements of the State and Professions Code.
49. The site shall be kept in a dust-free condition during construction in compliance with the San Joaquin Valley Air Pollution Control District (SJVAPCD).
50. All electrical, plumbing and mechanical equipment shall be screened. There shall be no new above-ground utility lines placed, or exposed conduits installed as a result of the project.
51. The developer and/or property owner shall comply with, and be responsible for obtaining encroachment permits from the City of Newman for work performed within the City's right-of-way.
52. The developer and/or property owner shall comply with, and be responsible for obtaining encroachment permits from Caltrans for work performed within the State's right-of-way.

Please note that these conditions are subject to deletions and additions that may occur through the preparation of the staff report, negotiations or additional information received. Should you have any questions or require additional information, please feel free to contact me at: (209) 862-3725 extension 17.

Sincerely,



STEPHANIE OCASIO
Assistant Planner
socasio@cityofnewman.com

cc: Scott Sehm, CEI Engineering Associates, Inc.
George Souza, Property Owner